

# **Workshop questions**

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# Planning Industry Workshop

## Rezoning reforms and regional opportunities

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Liz Lamb – Strategic Planning Co-ordinator, Port Stephens Council





# Rezoning reforms

- Rezoning and housing supply
- 40% of the cost of house and land packages attributed to rezoning costs
- RBA – unresponsive housing supply
- In Port Stephens, supply shortage over past decade
- Demand - Jan to July price increases:
  - Cameron Park – +18%
  - Chisholm – +9%
  - **Raymond Terrace – +19%**
  - **Karuah – +41%**
  - **Medowie – +77%**

The Effect of Zoning on Housing Prices

Ross Kendall and Peter Tulip





# Rezoning reforms

- Inquiry into housing affordability and supply in Australia
- Regional Taskforce on Housing Affordability
- Hunter JO collaborative project
- Hunter Regional Plan Review





# Rezoning in Port Stephens

- Zoned or identified land with significant barriers to delivery
- Fragmented lot ownership and smaller rural holdings around centres
- Infrastructure delivery and co-ordination
- Unique local housing market – our demand is *supply driven* – ‘zone it and they will come’
- Housing Preferences Survey 2019
- Demand from remote working opportunities, domestic tourism boom, Williamtown SAP



# Criteria to identify new housing

- Housing Strategy identifies locational criteria for different types of new housing
- Rezoning requests inconsistent with the criteria are not accepted for lodgement
- Criteria relates to State and local policies, infrastructure servicing, and land constraints
- 10 days from lodgement to submission for Gateway determination



## Appendix 1 — Greenfield Housing Criteria

The following criteria outlines key considerations for new urban housing areas (greenfield housing).

The criteria can be used to demonstrate that land is suitable for urban housing. Rezoning requests on constrained land will need to be lodged with additional supporting documentation to demonstrate the land is suitable for residential development.

The criteria are non-exhaustive and planning proposals will be subject to requirements of the NSW Department of Planning, Industry and Environment's 'Guide to preparing planning proposals' including consideration of any relevant State and regional plans, State environmental planning policies and local planning directions issued under section 9.1 of the Environmental Planning and Assessment Act 1979.

### LOCATIONAL CRITERIA

The land must meet the following locational criteria to be considered for a greenfield rezoning request:

- Land identified in a local area strategy; and/or
- Land that is currently zoned for non-residential purposes and is proposed to be zoned for urban housing (e.g. R1 General Residential, R2 Low Density Residential and R3 Medium Density Residential).

The criteria does not apply to rezoning requests for rural residential housing (refer to the Rural Residential Criteria in Appendix 2).

The criteria does not apply to rezoning requests for infill housing (Refer to Priority 1.3 of Live Port Stephens).

The criteria may apply to proposed lifestyle villages (Refer to Priority 3.3 of Live Port Stephens).

Note, land means the extent of land proposed to be used for residential purposes.

### CONSTRAINTS CRITERIA

#### Aircraft Noise

The land is below the 25 Australian Noise Exposure Forecast (ANEF) contour. Proposals on land affected by ANEF contour 25 or above are "unacceptable" for residential purposes under AS 2021 to 2015.

#### Bushfire

Rezoning requests on land identified as bush fire prone (on Council's Bush Fire Prone Land Map) must demonstrate consistency with the strategic principles contained within Planning for Bush Fire Protection 2019.

#### Flooding

The land is not categorised as Flood Planning Area. Rezoning requests for land in a Flood Planning Area must be lodged with a flood study demonstrating the land is suitable for development.

#### Land Slope

The land has a slope of less than 18 degrees. Rezoning requests for land that has a slope greater than 18 degrees must be lodged with a bulk earthworks plan demonstrating that the final landform will not exceed 18 degrees, and a geotechnical report demonstrating that the final landform will achieve an appropriate level of stability.

#### Biodiversity

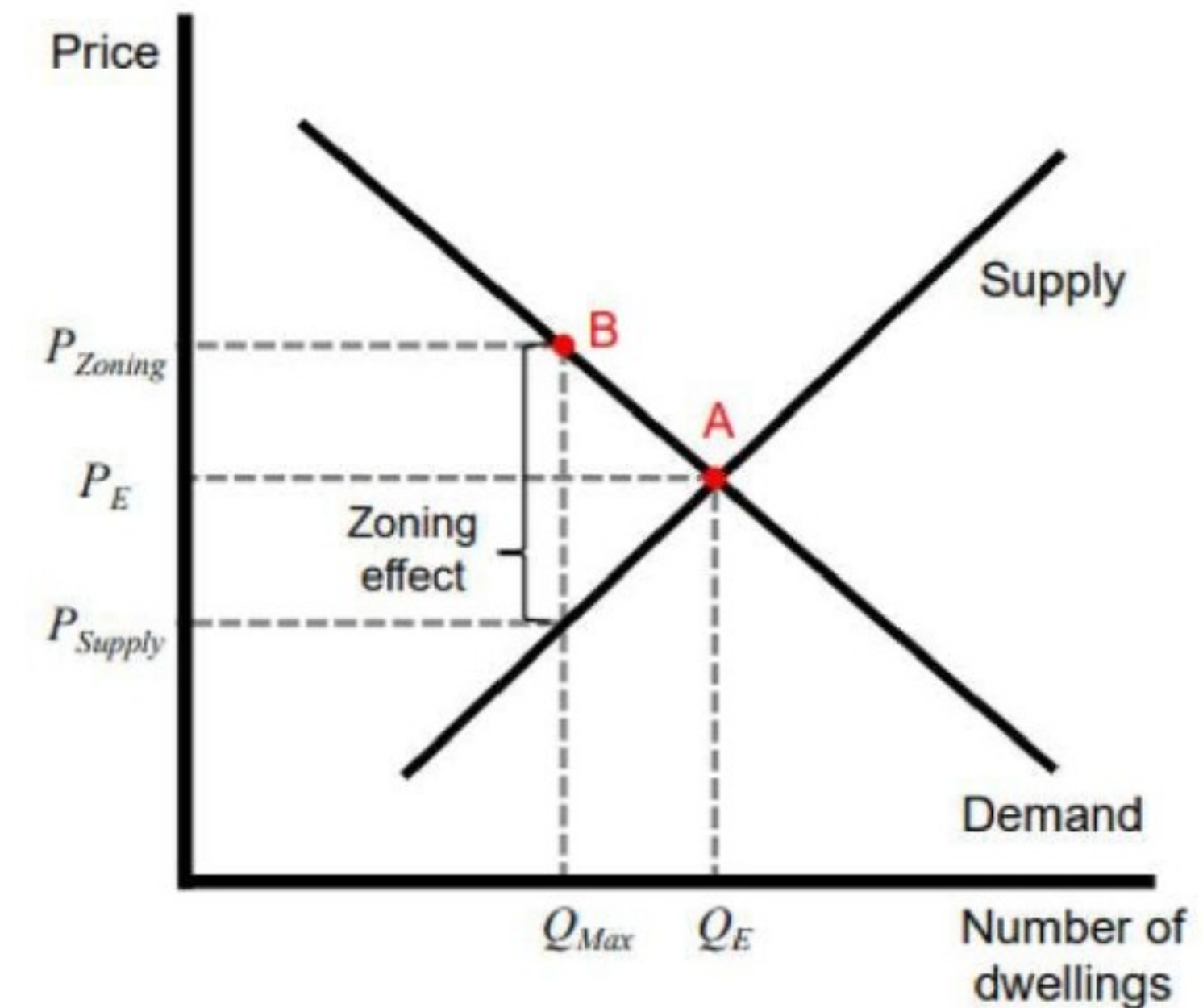
- The land is not identified as containing high biodiversity value, as per the NSW Department of Planning, Industry and Environment's Biodiversity Values Map published on the NSW Department of Planning, Industry and Environment website. Rezoning requests for land



# Market driven approach

- Enables an 'elastic' housing supply that can respond quickly to demand and changing conditions
- Facilitates a more competitive housing market, avoids landbanking
- Transparent, merit based assessments rather than politicised decisions to identify areas on a map
- Avoids inaccurate data about available supply

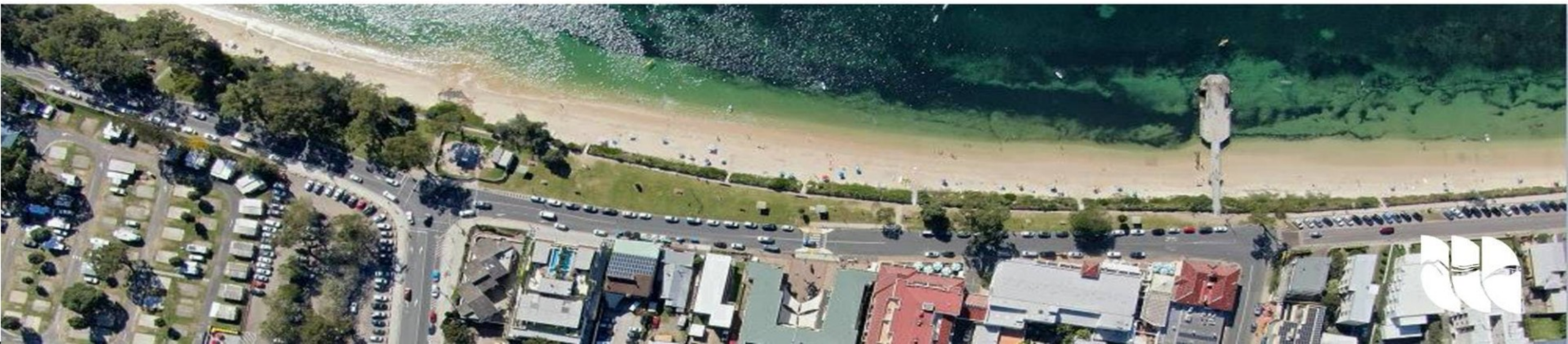
Figure 1: Stylised Housing Market with a Binding Quantitative Zoning Constraint





# Regional process reform opportunities

- A collaborative 'Hunter approach' to rezoning
- LSPS and Housing Strategies
- State Govt Rezoning Reforms
- State Govt target timeframes and dwelling delivery targets
- Hunter Regional Plan Review





# Streamline, simplify and standardise

## Opportunities:

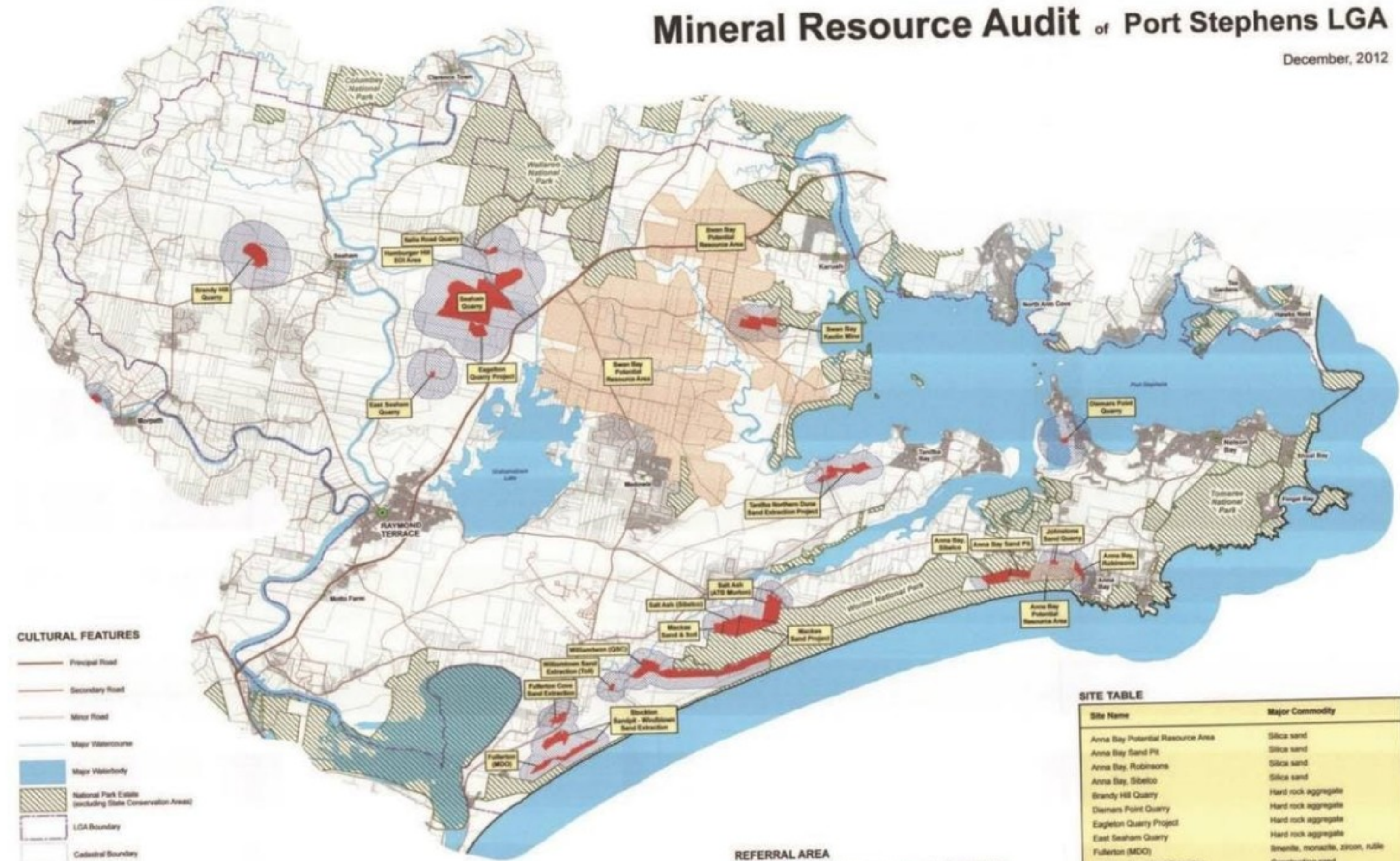
- Standard forms
- A Hunter planning proposal template
- Minimum lodgement information requirements
- A Hunter guide to rezoning for proponents – incorporating Hunter Regional Plan Directions?
- Standard target timeframes for Gateway determinations and agency referrals (MOU?)



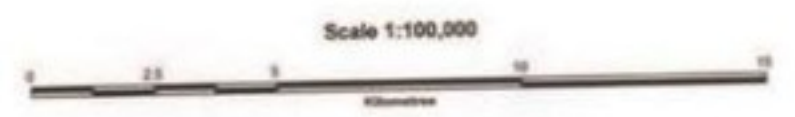


# Mineral Resource Audit of Port Stephens LGA

December, 2012



- CULTURAL FEATURES**
- Principal Road
  - Secondary Road
  - Minor Road
  - Major Watercourse
  - Major Waterbody
  - National Park Estate (including State Conservation Areas)
  - LGA Boundary
  - Cadastral Boundary



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- REFERRAL AREA**
- Identified Resource Area** - containing active mineral, petroleum and/or extractive operations and/or identified resources. Development within these areas could adversely affect or be affected by current or future resource development operations. Any proposed zoning changes or developments that may prohibit or restrict current or potential future operations in these areas should be referred to Resources & Energy Division of NSW Trade & Investment.
  - Potential Resource Area** - containing potential mineral, petroleum and/or extractive resources. Development within these areas could adversely affect or be affected by future resource development operations. Any proposed zoning changes or developments that may prohibit or restrict potential future operations in these areas should be referred to Resources & Energy Division of NSW Trade & Investment.
  - Transition Area** - areas adjacent to identified resource areas. Development within these areas could adversely affect or be affected by current or future resource development operations in the adjacent resource areas. Any proposed zoning changes or developments that may prohibit or restrict current or potential future operations in the adjacent resource areas should be referred to Resources & Energy Division of NSW Trade & Investment.

SITE TABLE	
Site Name	Major Commodity
Anna Bay Potential Resource Area	Silica sand
Anna Bay Sand Pit	Silica sand
Anna Bay, Robinsons	Silica sand
Anna Bay, Sibello	Silica sand
Brandy Hill Quarry	Hard rock aggregate
Danmara Point Quarry	Hard rock aggregate
Eagleton Quarry Project	Hard rock aggregate
East Seaham Quarry	Hard rock aggregate
Fullerton (MCO)	Granite, monazite, zircon, rutile
Fullerton Cove Sand Extraction	Construction sand
Hamburgh Hill EOI Area	Hard rock aggregate
Salia Road Quarry	Unprocessed construction material
Johnstons Sand Quarry	Construction sand
Mackas Sand & Soil	Construction sand
Mackas Sand Project	Construction sand
Salt Ash (ATB Murlon)	Construction sand
Salt Ash (Sibello)	Silica sand
Seaham Quarry	Hard rock aggregate
Stockton Sandpit - Windblown Sand Extraction	Construction sand
Swan Bay Koolin Mine	Kaolin
Swan Bay Potential Resource Area	Brick and mortar clay
Tanilba Northern Dune Sand Extraction Project	Silica sand
Willamstown (DSC)	Silica sand
Willamstown Sand Extraction (Tol)	Silica sand





# Target key barriers to delivery

## Opportunities:

- Publish minimum information requirements for Gateway
- DPIE & agency consultation with councils pre Gateway and before advice is issued
- Share draft Gateway conditions before determination
- Standard process to resolve agency issues post Gateway (co-ordination role for DPIE?)
- State-led 'housekeeping' mapping amendments





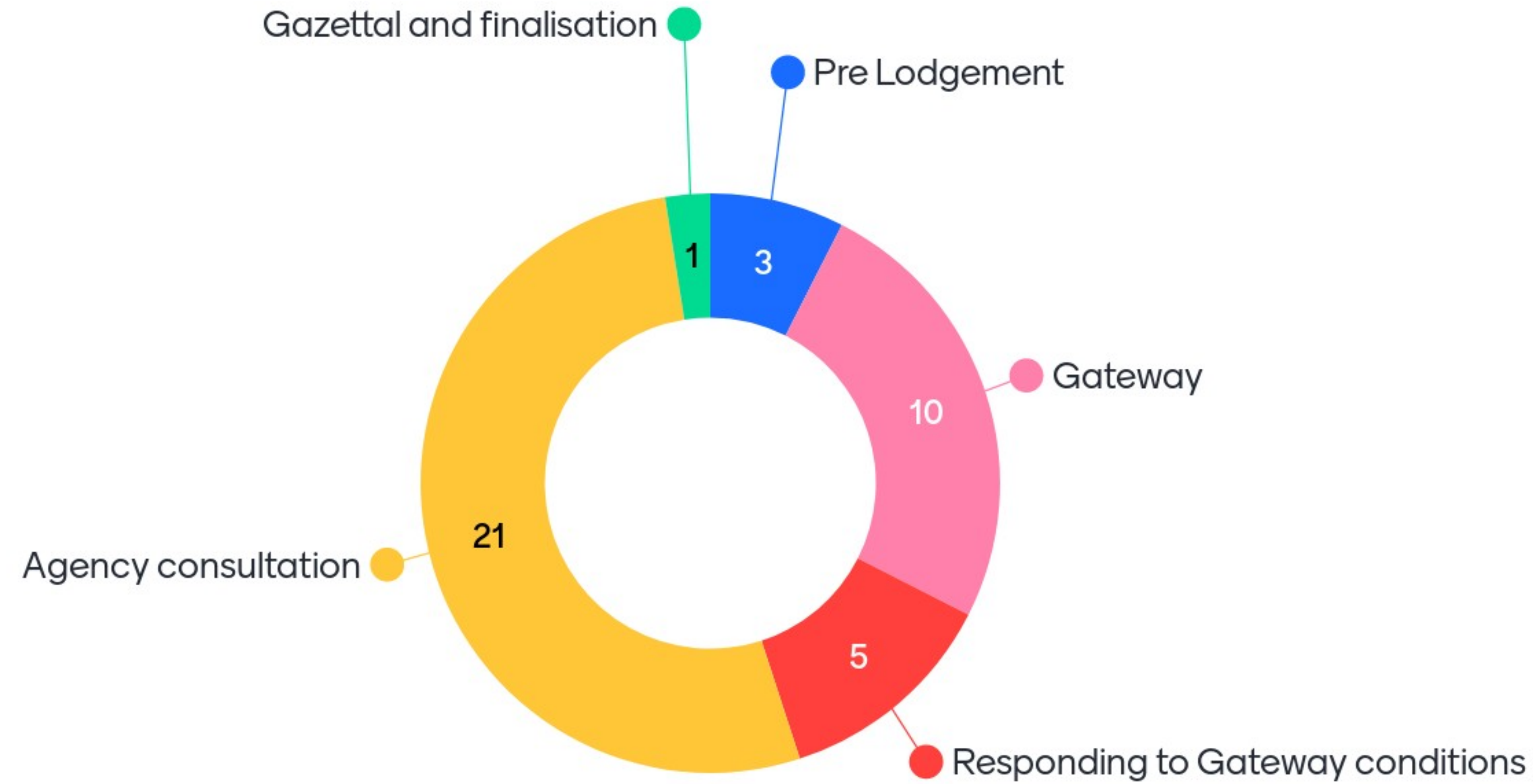
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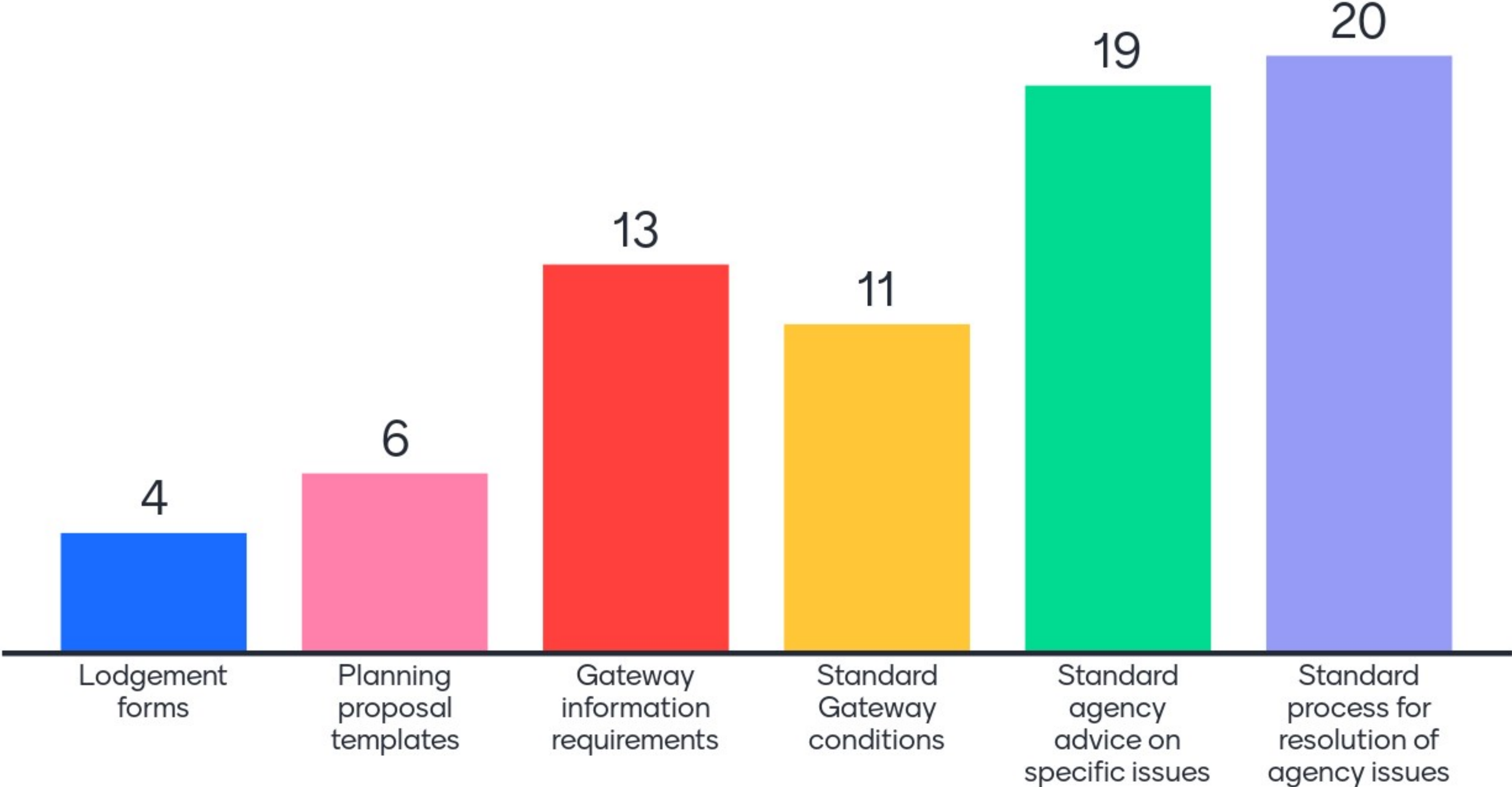


# Which steps in the rezoning process cause undue delays?





# What standardised information, forms, or advice could be useful in the Hunter?





# Have you worked on rezonings in a region that gets it right? What did those councils, regional DPIE offices or agencies do?

Dubbo office timeframes are fast

Dubbo DPIE Office issues Gateways in 30 days.

Plan for infrastructure and affordable housing with the rezoning - Sydney

In WA they have a clear separation between rezoning and subdivision/development processes

More consultation during gateway assessment

Have clearer non negotiables and what land might be negotiable- so that developers know where to focus (UK experience)

Comprehensive planning (integrated with infrastructure) for Sydney Growth Areas

Recognition of pre gateway consultation with agency

Defined urban footprint from state



# Have you worked on rezonings in a region that gets it right? What did those councils, regional DPIE offices or agencies do?

Government-initiated PPs tend to see agency involvement prior to Gateway, namely because they tend to gain access to agencies more easily than private developers.



# Place Plans

Mentimeter

Brett Gardiner  
Principal Strategic Planner



**PORT STEPHENS**  
COUNCIL



# Strategic planning framework





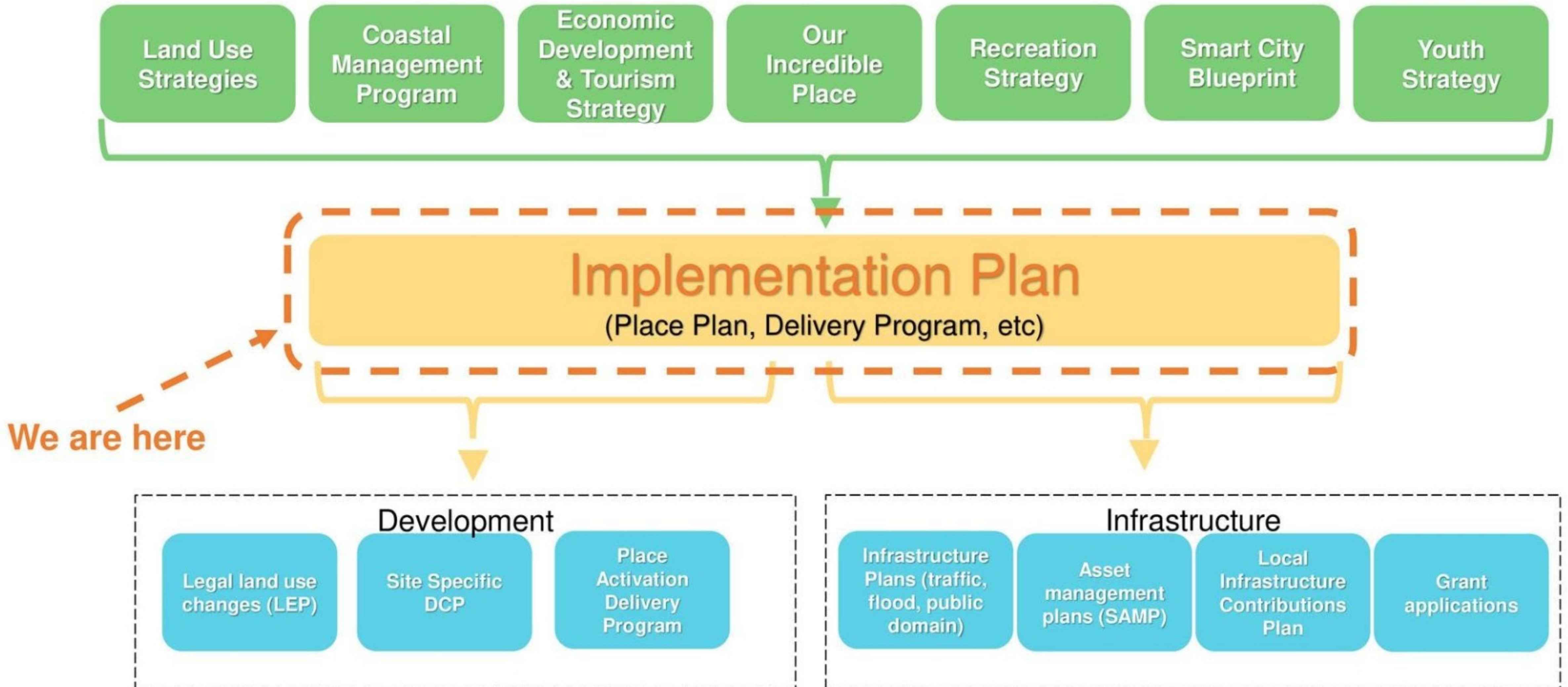
# What is a Place Plan?

- Action-orientated strategy that enhances the community's connection to a place.
- Fosters pride and transforms the way residents, business and visitors connect with an area.
- Responds to community values and aspirations.
- Shapes, enhances or protects unique local character.
- Enables residents, business, schools, community groups to create vibrant communities in partnership with Council.





# Town centre strategic framework





# Place Planning Engagement Report



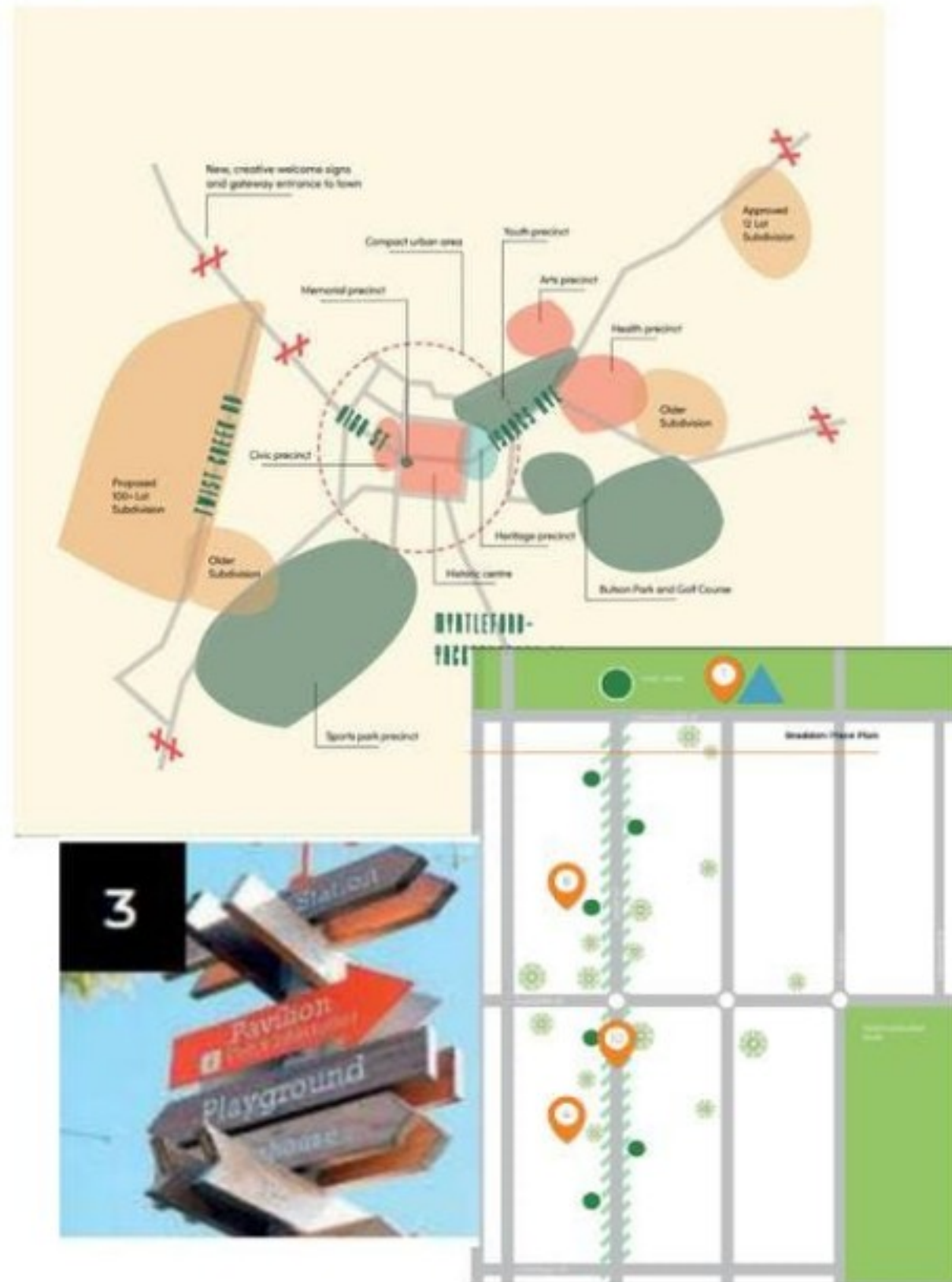
Ongoing

**Town Teams** • Collaborating on action • Experimentation • Ongoing feedback  
• Performance measurement • Evaluation with community



# What does a Place Plan look like?

## Projects and precincts



## Events and activation



## Actions

ACTION	DESCRIPTION	TIMING	COST	WHO
2.1 Tell the Yack Story	Use human, traditional and emerging media to honour and manifest Yack's story and share with visitors who aspire to live like locals. Support the Community Centre with the next iteration of their 'Yack Pack'.	Short	\$	<ul style="list-style-type: none"> <li>Council</li> <li>Community</li> <li>Town Team</li> <li>Community Centre</li> </ul>
2.2 Encourage creatives and start-ups to make Yack home	Develop the "Creative and entrepreneur passport to Yackandandah" to encourage young entrepreneurs and creatives to move to Yackandandah and strengthen the local economy in collaboration with regional businesses. Refer to e/digital passport in Estonia.	Short	\$	<ul style="list-style-type: none"> <li>Chamber of Commerce</li> <li>Community</li> <li>Council</li> </ul>
2.3 Support local celebrations	Support local festivals and programs that help to deliver and cultivate new ideas. With the support of Council and local organisations, create a yearly event focused around innovation and education (i.e. Festival Of Dangerous Ideas).	Short	\$	<ul style="list-style-type: none"> <li>Community</li> </ul>
2.4 Install better digital infrastructure	Investigate a community based solution for faster and more reliable high speed internet.	Short	\$	<ul style="list-style-type: none"> <li>Town Team</li> <li>Community</li> </ul>
2.5 Creative place making after dark	Activate public spaces and the main street after dark through lighting and creative expression in key locations (e.g. outside buildings, on buildings, in trees) that benefit local businesses trading later.	Short	\$	<ul style="list-style-type: none"> <li>Chamber of Commerce</li> <li>Local businesses</li> <li>Community</li> </ul>





# What did our community tell us?

- The quality of public space is important
- Neighbourhoods need to be liveable
- Individual places have individual values
- Improving how we respond to community values improves liveability
- Land use planning alone isn't enough





# Place Planning in Port Stephens

- Nelson Bay Town Centre and Foreshore Delivery Program
- Council program of Place Plans
- Proponent Led Place Plans





# Delivering Housing and Employment

*Land for*

**2,400 homes**



- Criteria based approach
- Local strategic planning
- Proponent initiation
- Whole of community planning
- Streamlining planning proposals

**Stage 1**  
230 hectares





# Delivering Communities

- Community vision
- Community delivery
- Enabling business
- Housing affordability
- Liveable communities





# Contact

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